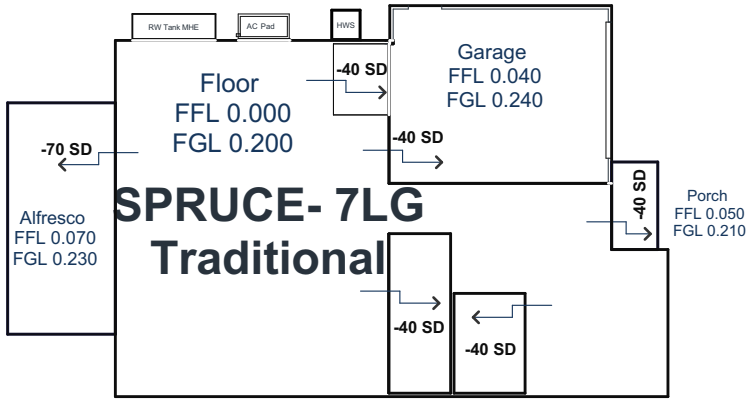
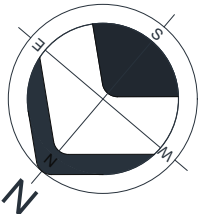


Layout No:	Layout Name	Rev
1	Cover Sheet	
2	Site	
3	Ground Floor	
4	Elevation A/B	
5	Elevation C/D	
6	Section X	
8	Fence & Retaining Layout	
9	Retaining Wall Details	
10	Waste & Drainage	
11	Slab Setout Ground	
12	Slab Details	
13	Sub Floor Ground	
14	Slab Relocation Cut Plan	
15	Ground Floor Electrical	
16	Wall Section 1	
17	Associated Details	
18	Window Hood Details	
19	BAL Layout	
20	Tile Specification	
21	Ensuite - Laundry	
22	Bath	
23	Kitchen	
24	Colour Application	
25	Paint Application	
26	Colour Perspectives	
27	Landscape	
28	Landscape Details	
29	Solar Panel Information	
30	Section Y	

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**MASTER**



REV: A  
MASTER

DRAWING REVISIONS
A. ##. ##. #####- Initial

- NOTE:** Also Refer To Index Sheet For Additional Plans.
- Waste & Drainage.
  - Fencing & Retaining.
  - Slab Setout.
  - Site Analysis.
  - Landscape.
- GENERAL NOTES:**
- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
  - Retaining Wall Where Required By Builder.
  - Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
  - Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.






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							GENERAL:	F	01.09.20	Revision/Date/Version A.V22		Serial	JHA	1:200
							HOUSE:	0	01.07.20			1SJ7008000	Job No <b>123415</b>	Sheet 2

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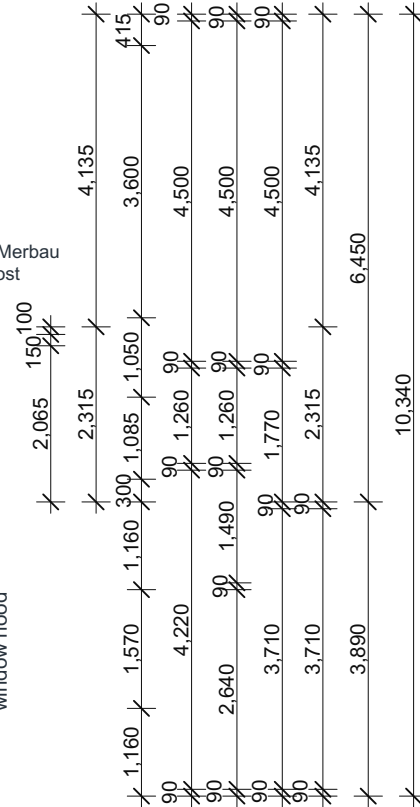
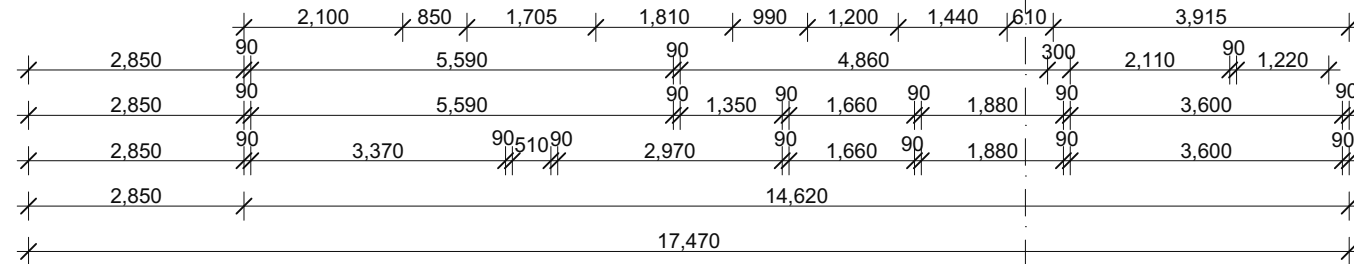
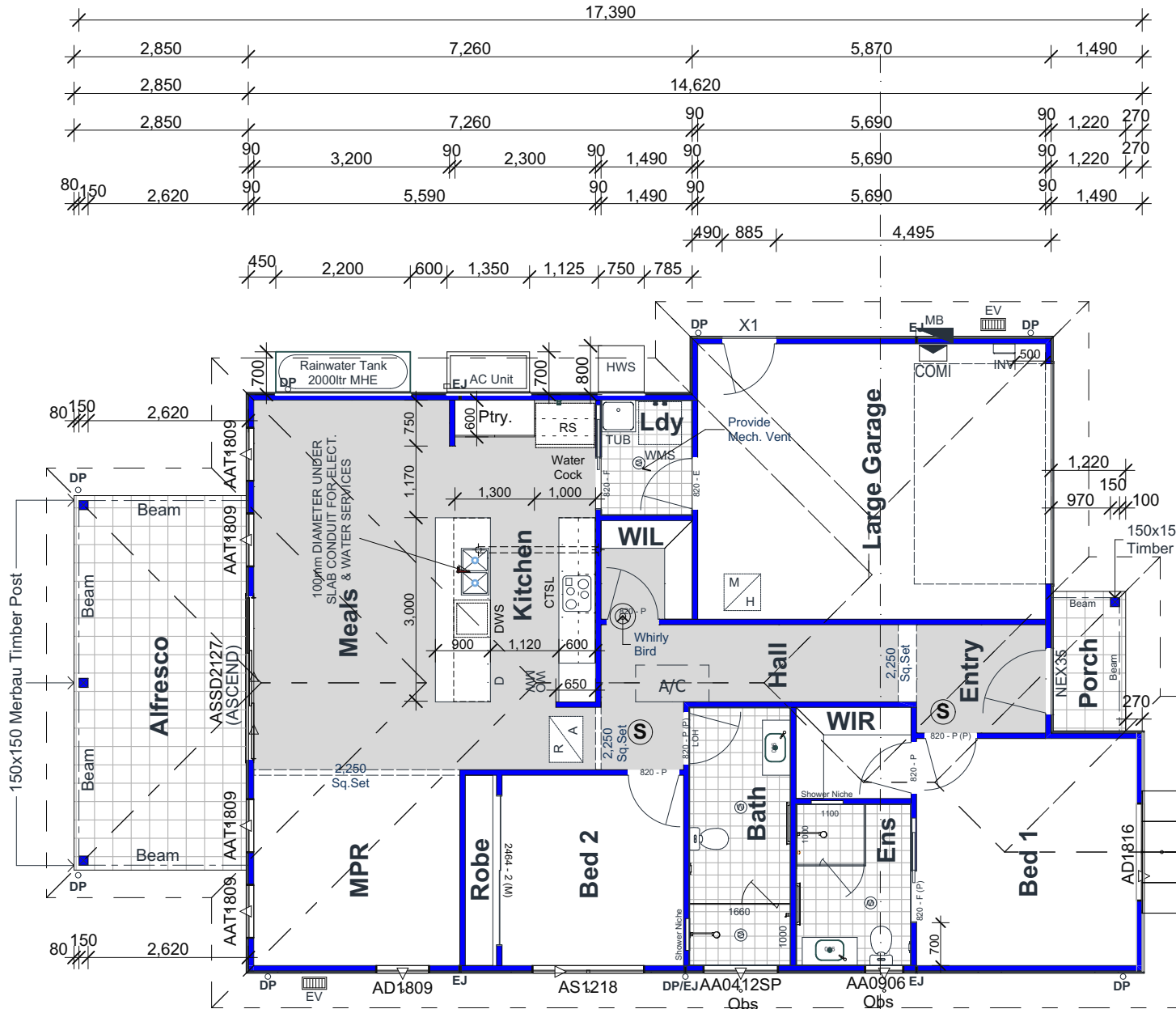
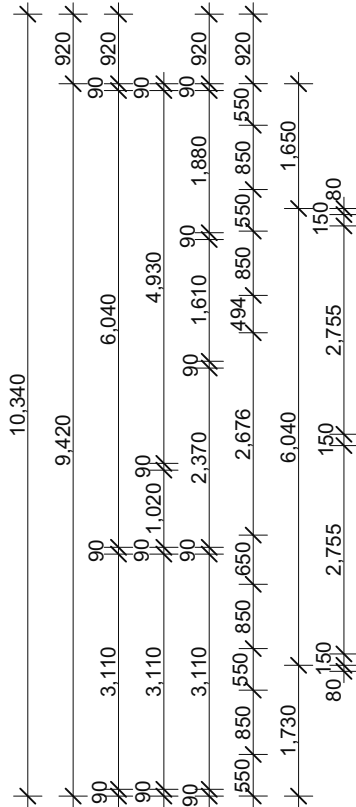
K:\02\_MHE\SPRUCE\Traditional\SPRUCE-7 LG Traditional.dgn

\*Weather strips/seals to all external hung doors

Type Spec level note here

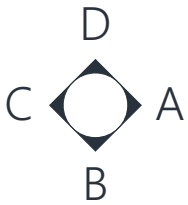
	Air Con Fan Unit
	Return Air
	Man Hole
	Whirly Bird (300mm Throat Dia)
	Eave Vent (400x200mm)

E = Entrance  
P = Passage  
(P) = Privacy  
W = Wardrobe  
LOH = Lift Off Hinge



**SHADED AREA DENOTES  
VINYL FLOORING UNLESS  
OTHERWISE SPECIFIED ON  
THE JOB SPECIFIC COLOUR  
SELECTION SHEET**

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**SPRUCE - 7LG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS	<b>Ground Floor</b>				Last Amended <b>JHA</b>	Scale <b>1:100</b>
GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.07.20	A.V22	1SJ7008000	<b>123415</b>	3

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### North West Elevation (B)

**General Notes:**

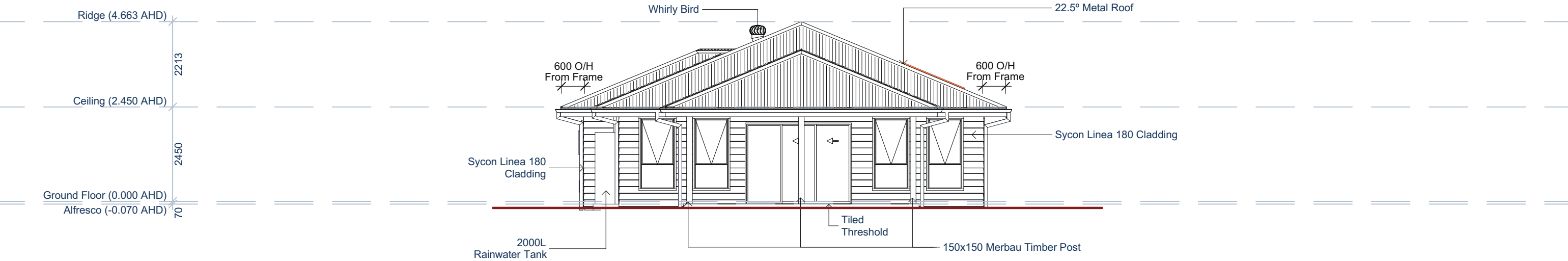
- \* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
- \* Provide cover strip to entry doors
- \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

 Indicates Obscure Glazing  
(Refer floor plans/window schedule)

## Glazing

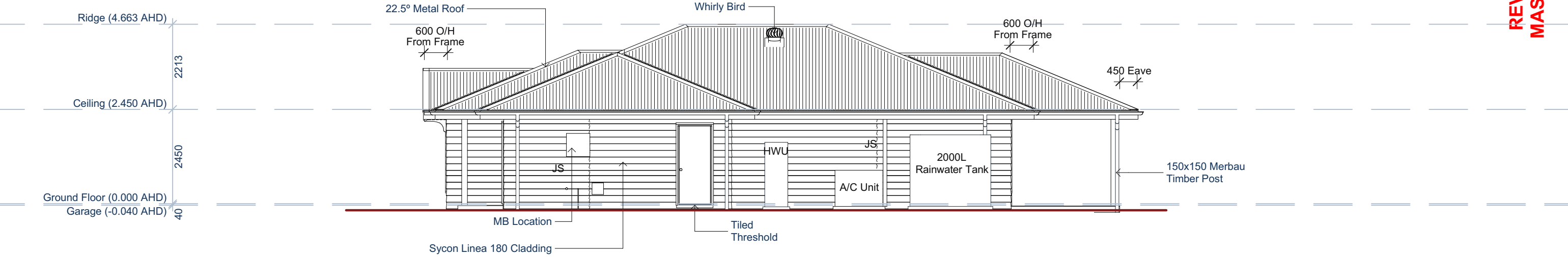
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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 <p><b>ALLAM</b> Lifestyle COMMUNITIES</p>	 <p><b>MONTEREY</b> CANYON HAVEN</p>	Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	<b>SPRUCE - 7LG</b> <i>Traditional</i>	Site Address Allam Homes Pty Ltd Lot ## Street Name Kendall (MONTEREY) NSW	SITE INSTRUCTIONS	<b>Elevation A/B</b>		Last Amended JHA	Scale 1:100		
						GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
						HOUSE:	0	01.07.20	A.V22	1SJ7008000	<b>123415</b>	
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North East Elevation (C)

**NOTE:**  
EXPNASION JOINTS (EJ) / JOINING STRIPS (JS)  
SHOULD DUIT 4200mm BOARD LENGTHS  
WHERE POSSIBLE



South East Elevation (D)

- General Notes:**
- \* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
  - \* All verges 200mm unless otherwise noted
  - \* Provide cover strip to entry doors
  - \* Provide cover strip to entry doors
  - \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

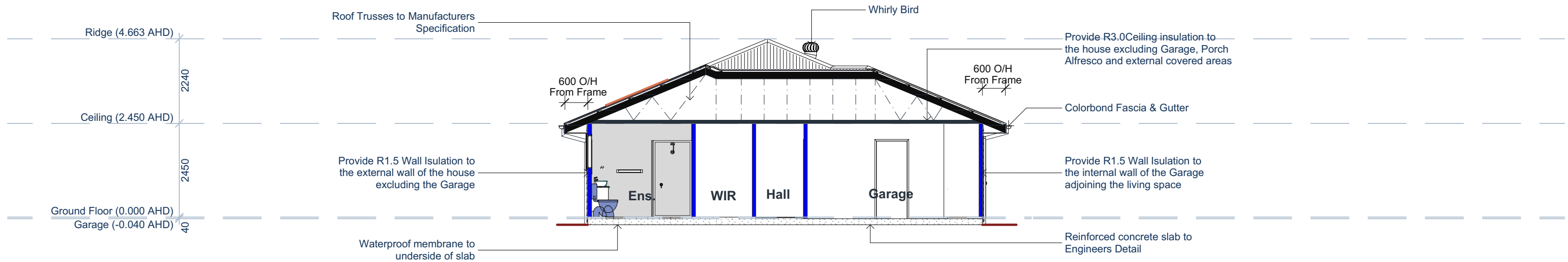
Indicates Obscure Glazing  
(Refer floor plans/window schedule)

**Glazing**  
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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	 <div>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</div>	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty Ltd. Copyright in this document is owned by Allam Homes pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty Ltd.	SPRUCE - 7LG  Traditional	Site Address Allam Homes Pty Ltd Lot ## Street Name Kendall (MONTEREY) NSW	SITE INSTRUCTIONS		Elevation C/D		Last Amended	Scale	
					GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
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**Note:**  
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



## Section (X)

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	14.17	1.417	3.200	0.709	1.600
Bed 2	8.74	0.874	2.160	0.437	1.080
Kitchen/Meals	33.114	3.311	10.26	1.656	5.130
Family	10.48	1.048	5.580	0.524	2.790

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### CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC

2019 & AS4200.1 & Installed in Compliance with AS4200.2

**ROOF RAINWATER:**

- Provide overflow measures for gutters and downpipes:  
Compliant with NCC Clause 3.5.3

**STAIRS, RAMP & LANDINGS:**

- Internal & External: Bounded by walls:  
Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance:  
Compliant with NCC Clause 3.9.1.4

**BALLUSTRADES:**

- Internal/External: All installations:  
Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

**ELECTRICAL:**

- Smoke Alarms: Installation to NCC Clause 3.7.5

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Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

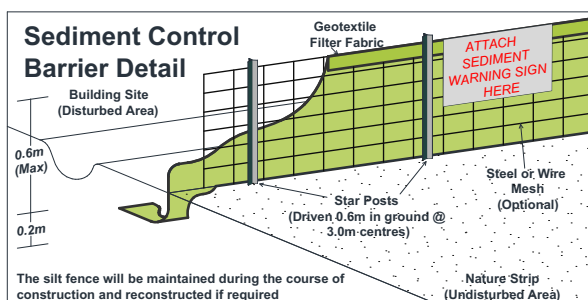
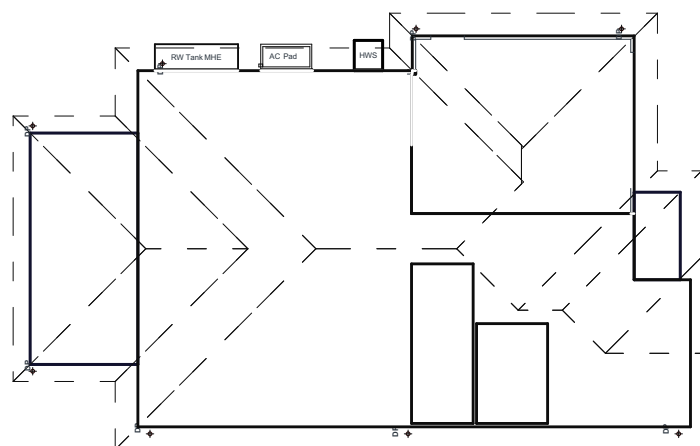
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GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.07.20	A.V22	1SJ7008000	<b>123415</b>	6



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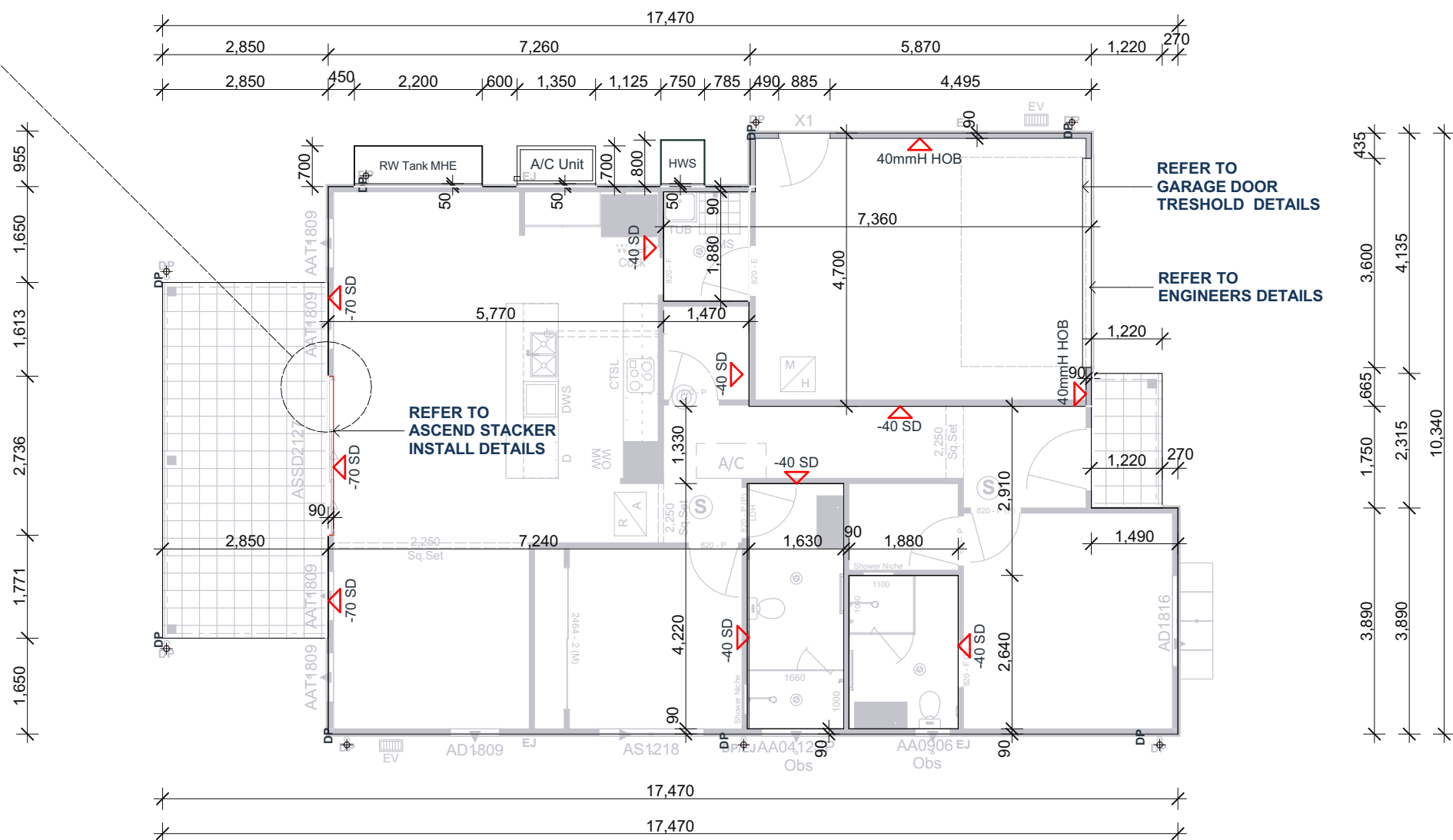
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Site Address  
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Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		<b>Waste &amp; Drainage</b>			Last Amended	Scale	
GENERAL:		F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:		0	01.07.20	A.V22	1SJ7008000	123415	10

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### Termite shields

Shields, barriers or the like must be provided in accordance with AS 3660.1—2000 Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

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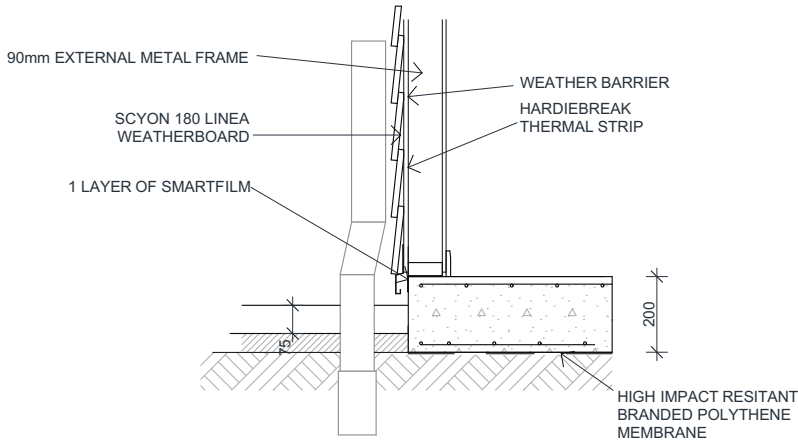
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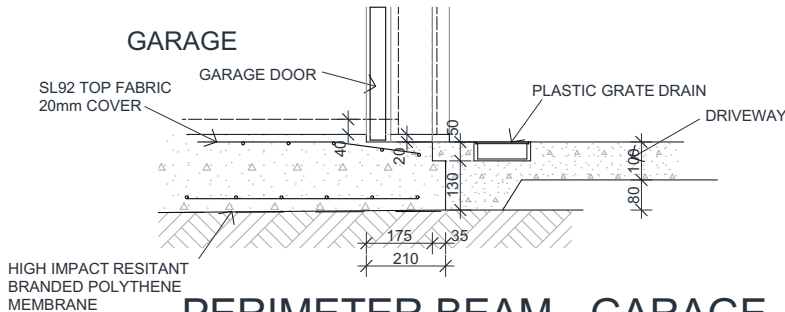
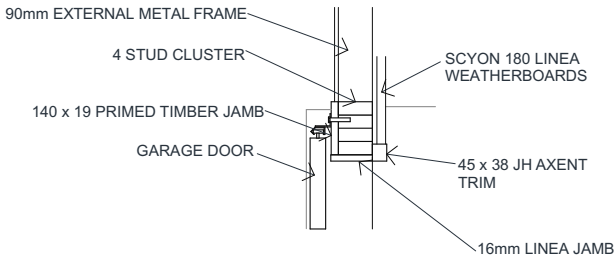
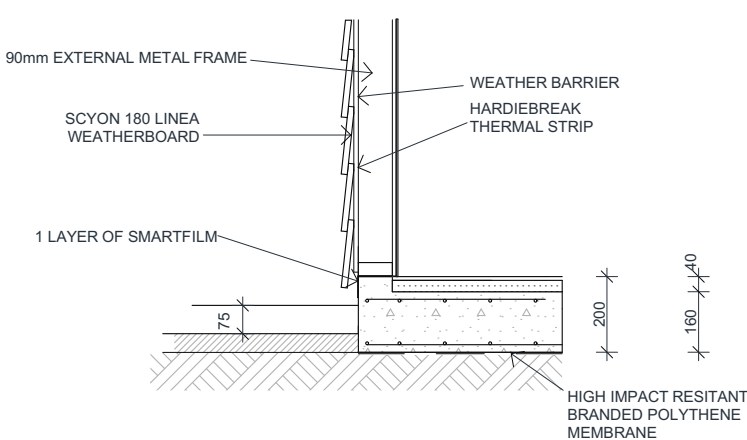
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Lot ## Street Name  
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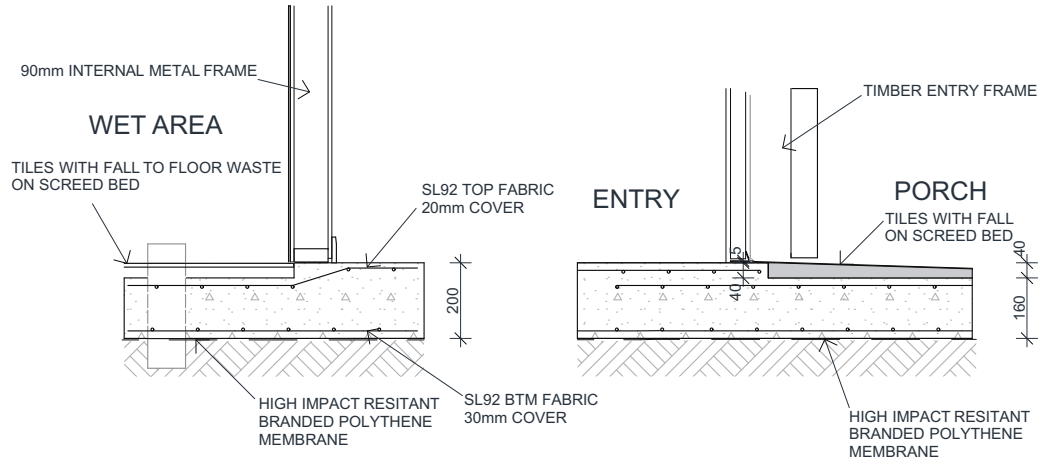
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GENERAL:	F	01.09.20	Revision/Date/Version		Serial		Job No	Sheet
HOUSE:	0	01.07.20	A.V22		1SJ7008000		<b>123415</b>	11



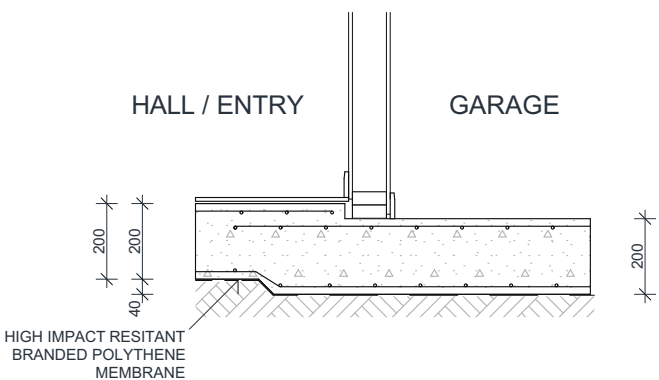
PERIMETER BEAM - HOUSE  
SCYON 180 LINEA CLADDING



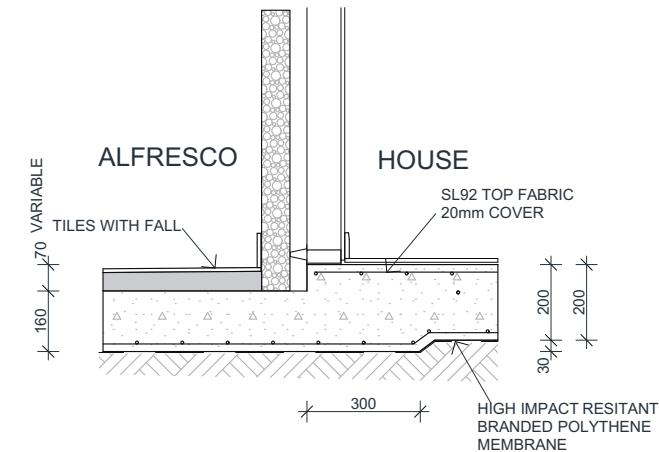
PERIMETER BEAM - GARAGE  
SCYON 180 LINEA CLADDING



INTERNAL STEP DOWN  
THRU WALL



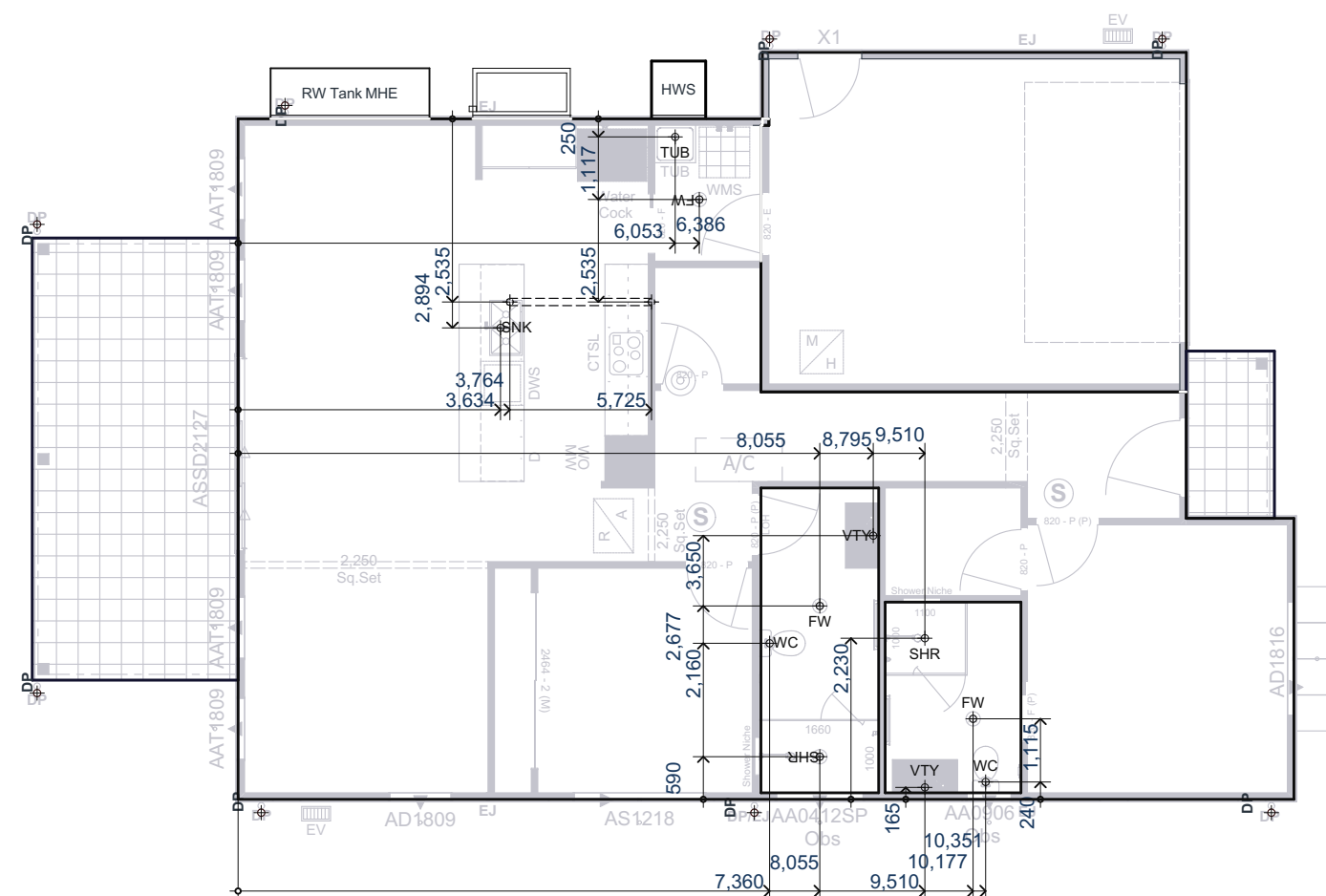
INTERNAL STEP DOWN  
THRU WALL



EXTERNAL STEP DOWN

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MASTER

REV: A  
MASTER



NOTE: GROUND FLOOR  
RUNNING DIMENSIONS FROM  
INSIDE OF EDGE BOARD TO C<sub>L</sub> OF  
PENETRATION

NOTE: FIRST FLOOR  
RUNNING DIMENSIONS FROM EXTERNAL  
TIMBER FRAME/BRICKWORK TO  $\phi$  OF  
PENETRATION

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Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		<b>Sub Floor Ground</b>			Last Amended <b>JHA</b>	Scale REFER DETAIL
GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.07.20	A.V22	1SJ7008000	<b>123415</b>	13


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- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Electric Hot Water System
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Air-Conditioner Fan Unit
- 


Internal COMS
- 

Alarm Key Panel
- 


Alarm Control Box
- 


Single GPO
- 

Double GPO
- 

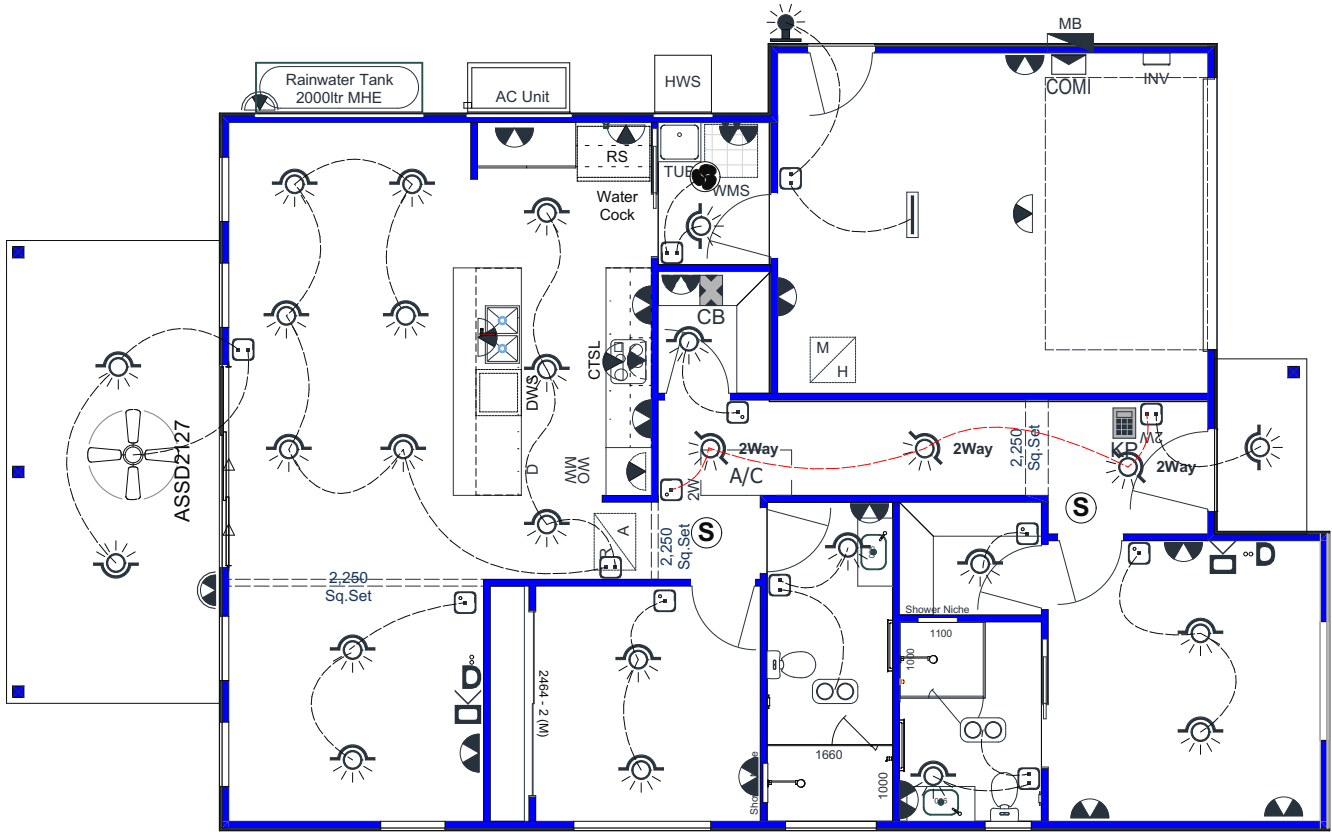
Single Ext GPO
- 

Double Ext GPO

- 

Ceiling Fan
- 

The final location of ceiling penetrations and light fittings are subject to site conditions



Actron Air Standard Unit Specification (Single Phase)

Model: **CRA100S / EVA100S**  
Net (rated) Capacity (KW) Cooling: **10.16 KW**  
Heating: **10.62 KW**  
EER Rated Cooling: **3.30 KW**  
COP Rated Heating: **3.59 KW**

General Notes: NCC Approval

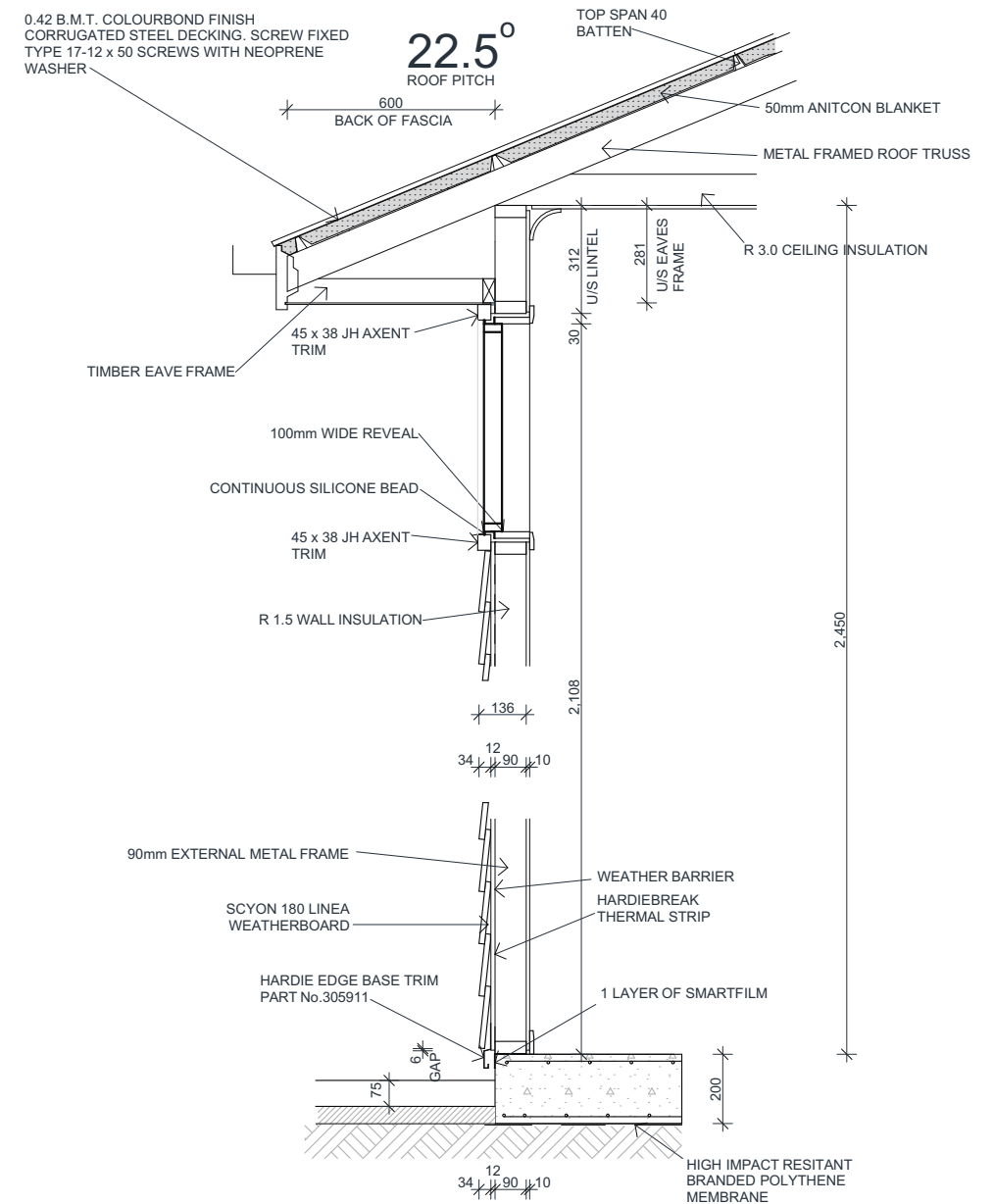
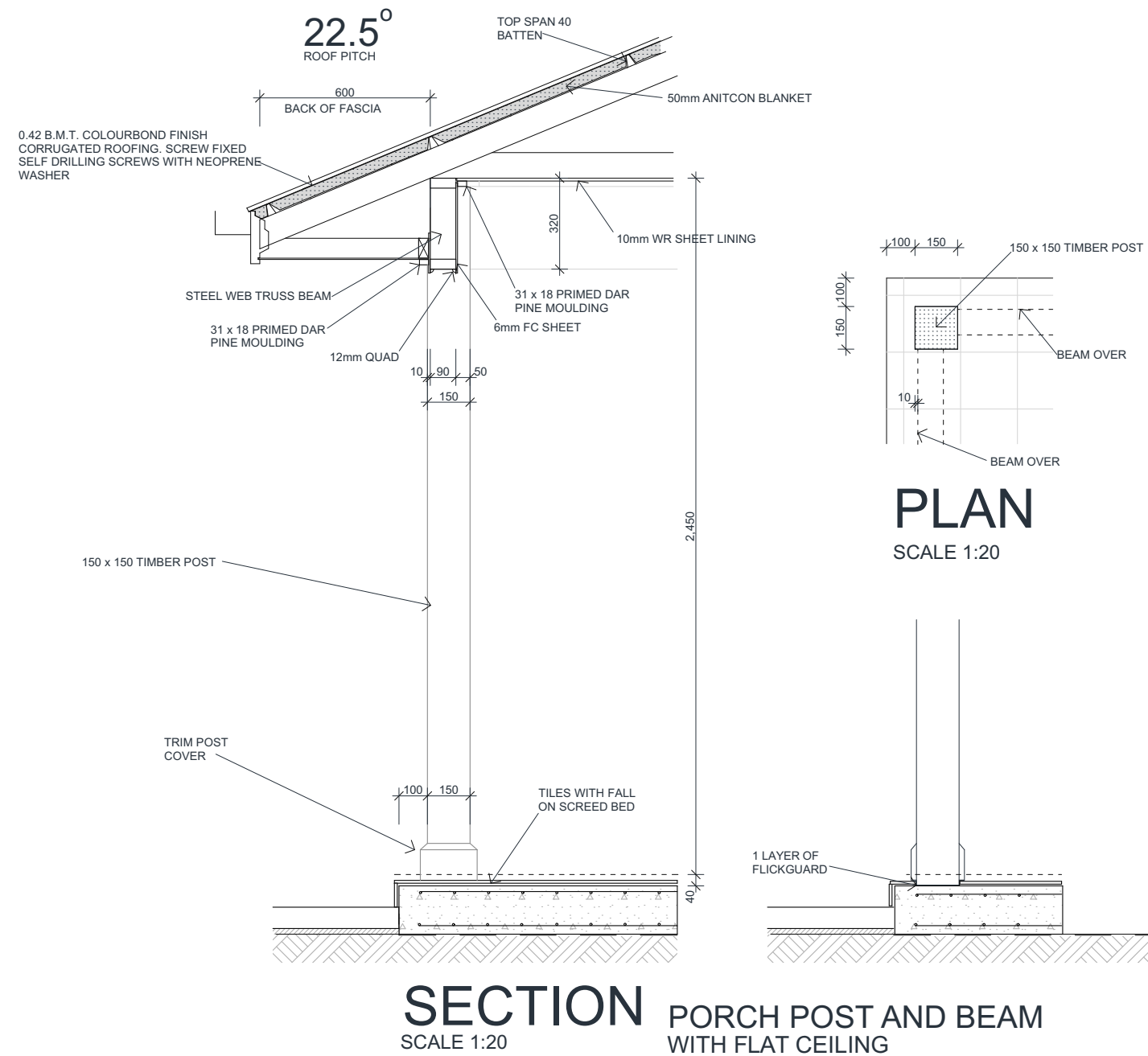
1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
5. Double GPO to meter box.

Electrical wiring

The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	

Note :  
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.



PERIMETER BEAM - HOUSE  
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

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Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS  
GENERAL: F  
HOUSE: 0

Wall Section 1

Revision/Date/Version  
A.V22

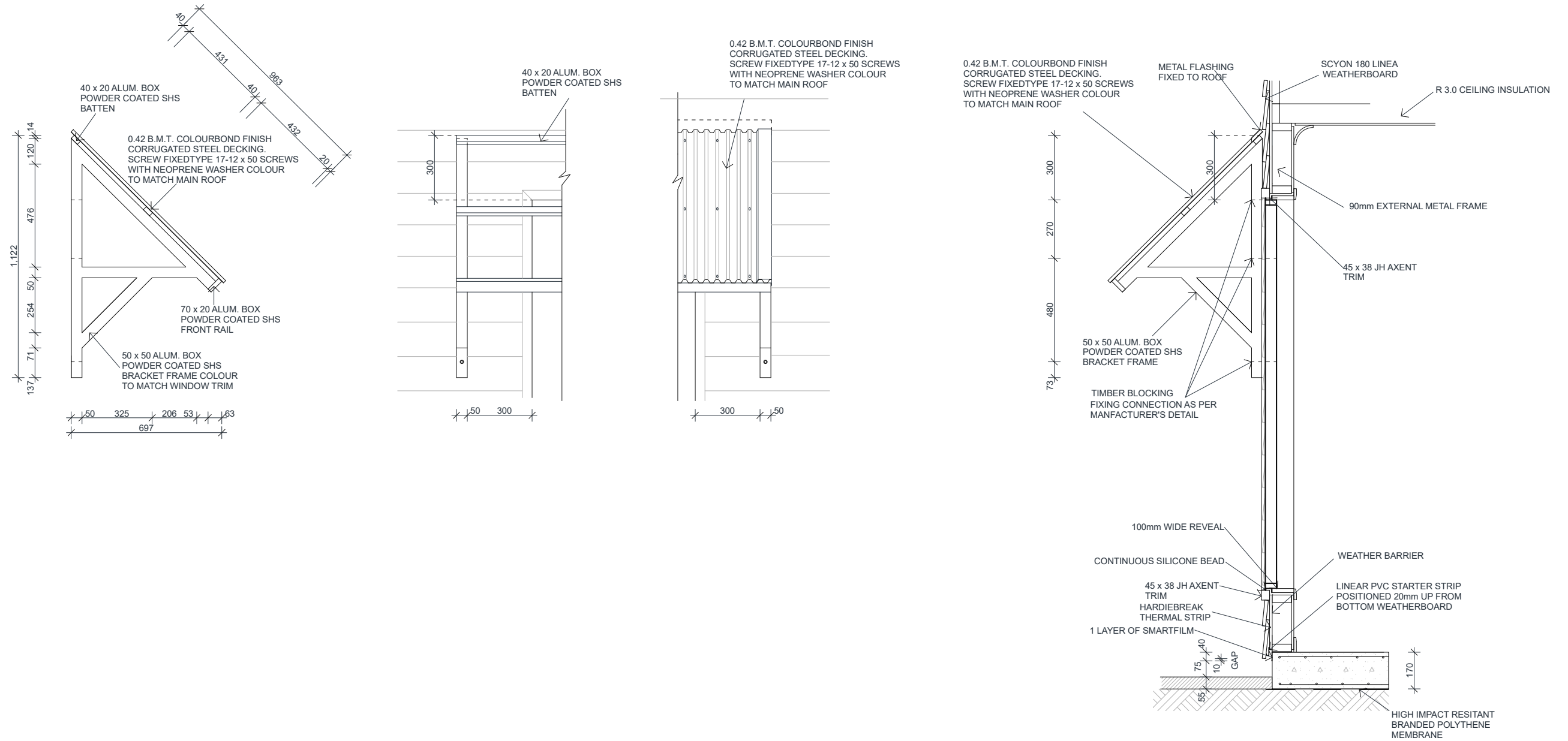
Serial  
1SJ7008000

Last Amended  
JHA  
Job No  
123415  
Scale REFER TO DETAIL  
Sheet  
16

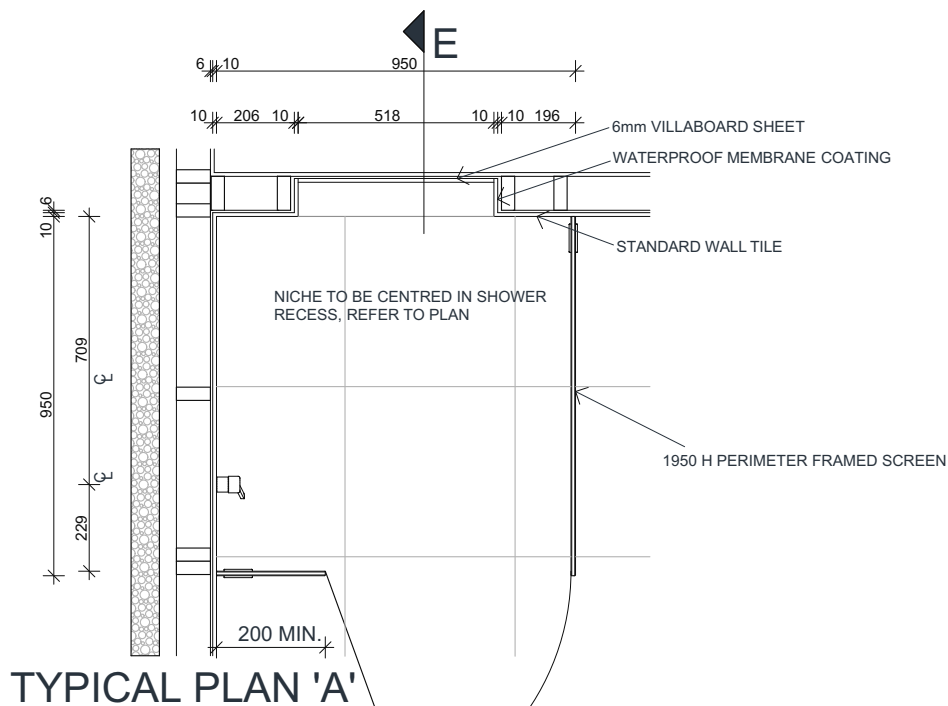




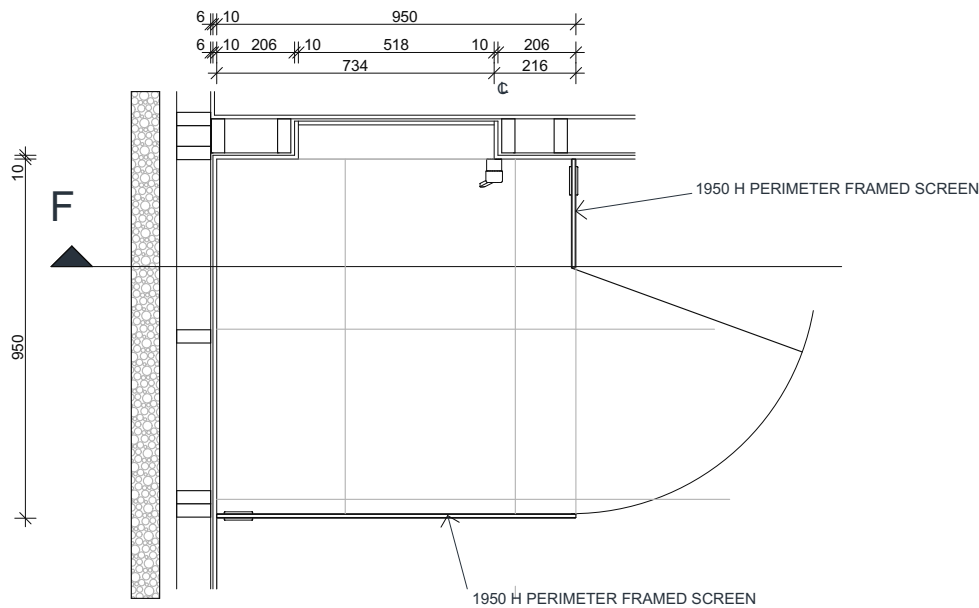




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MASTER

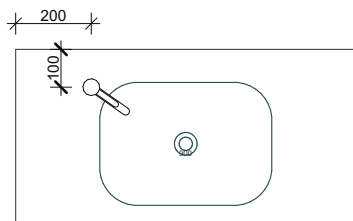


TYPICAL PLAN 'A'

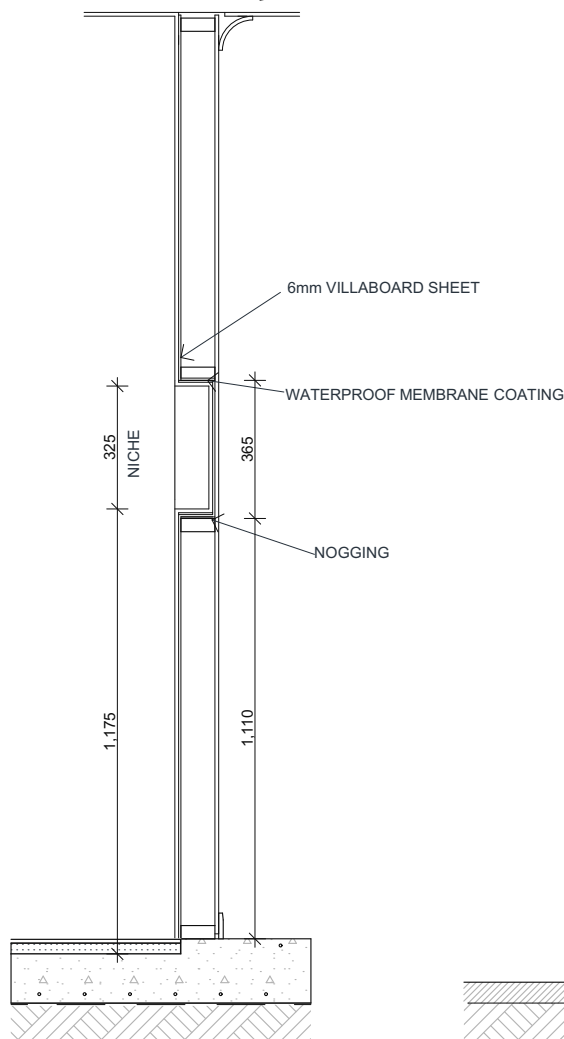


TYPICAL PLAN 'B'

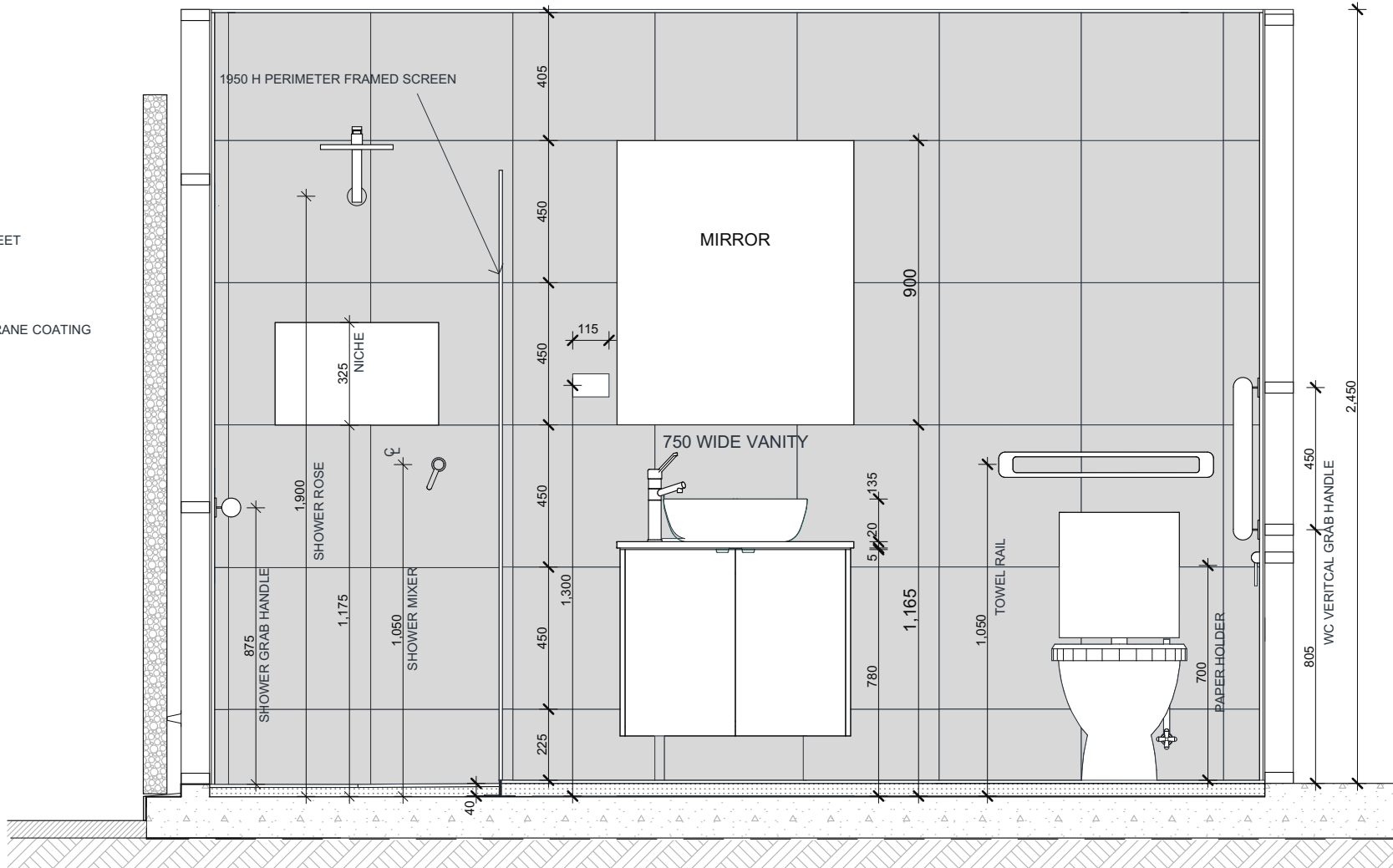
NICHE UNDER SHOWER ROSE



VANITY TOP



SECTION 'E'



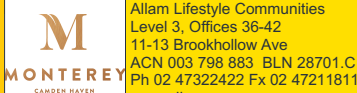
SECTION 'F'

NICHE UNDER SHOWER ROSE

450 x 450 WALL TILE

REV: A  
MASTER

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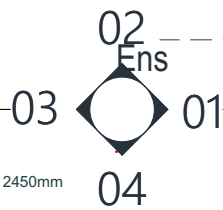
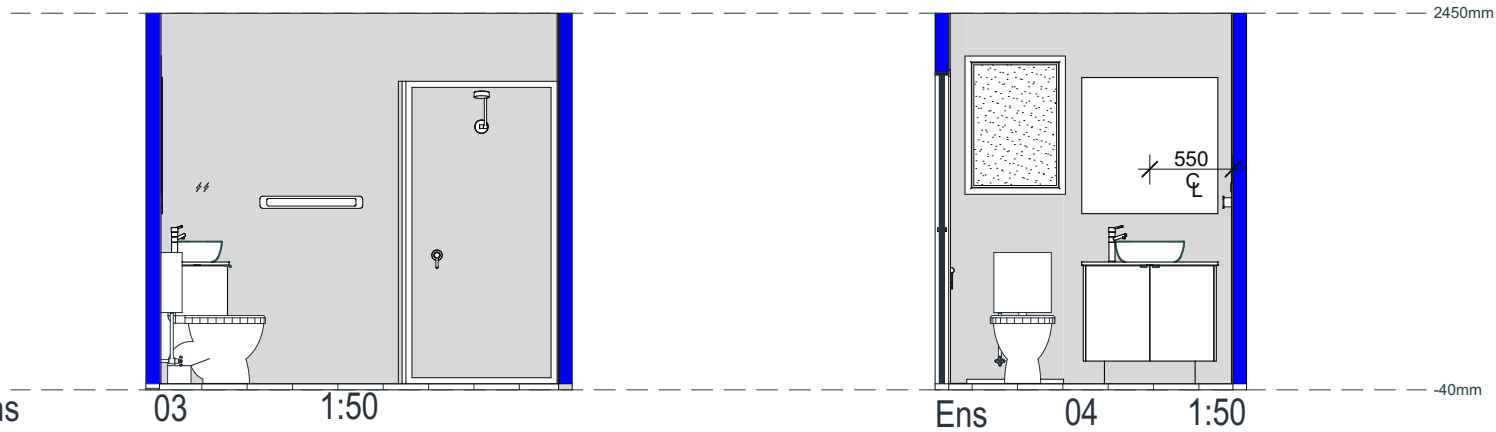
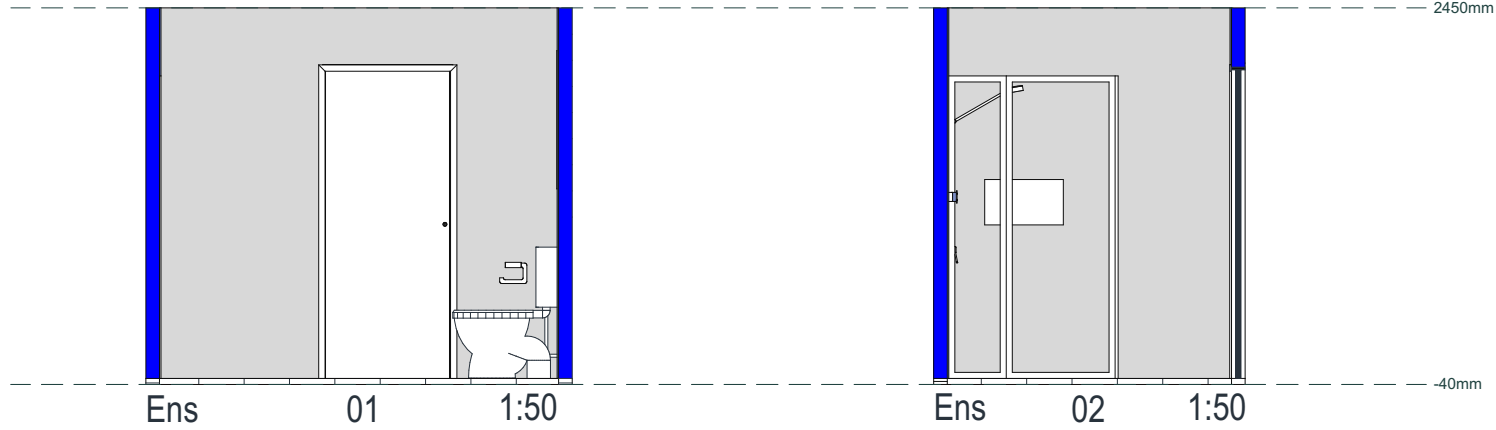
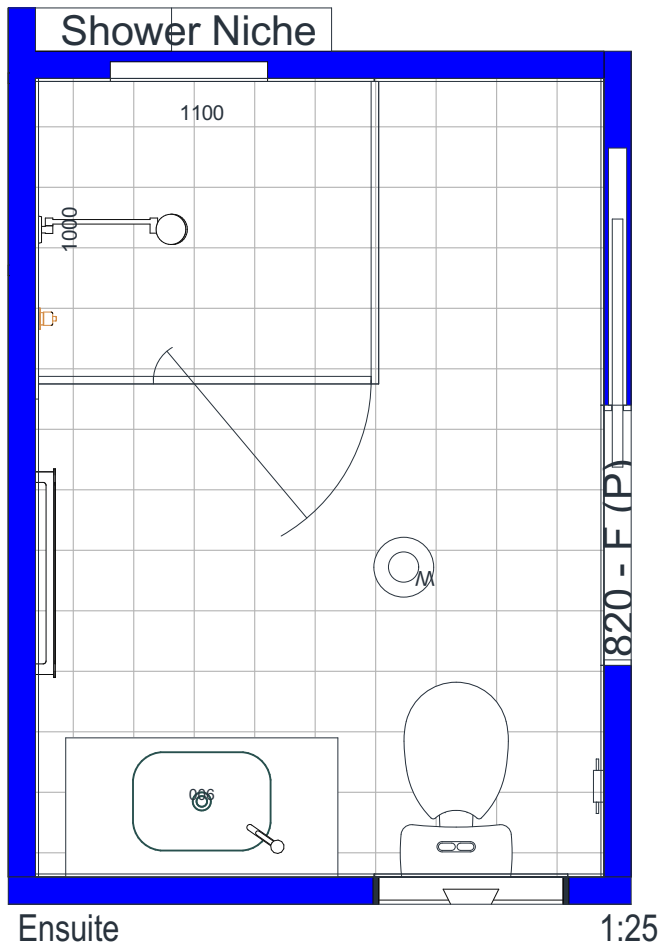
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**SPRUCE - 7LG**  
*Traditional*

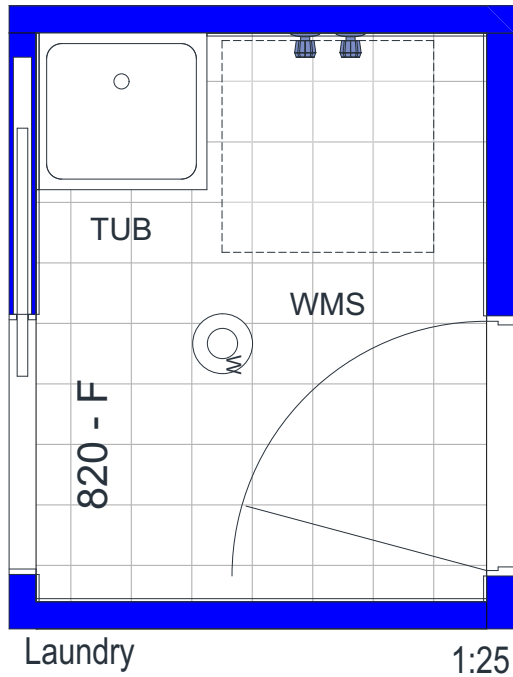
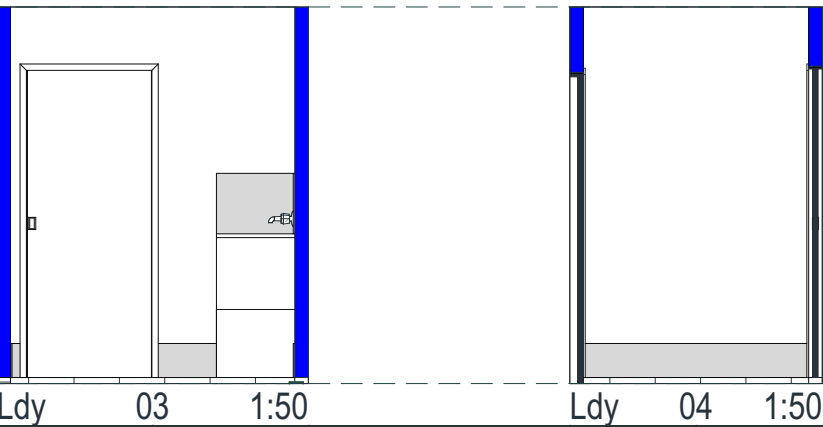
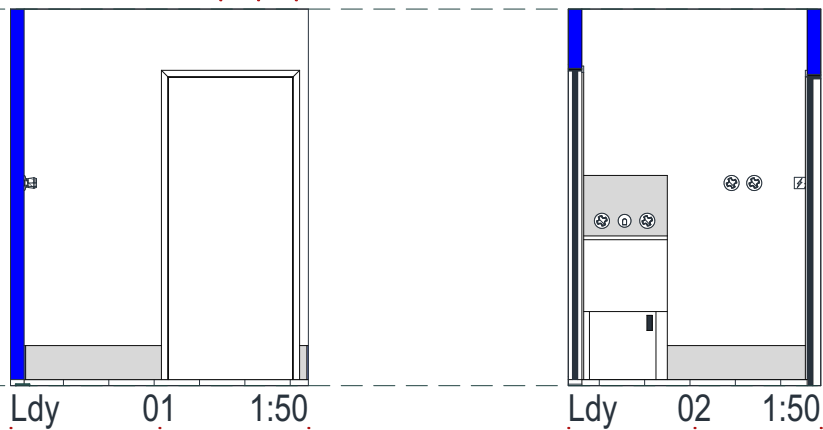
Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS		Tile Specification		Last Amended	Scale
GENERAL:	F	01.09.20	Revision/Date/Version	JHA	REFER TO DETAIL
HOUSE:	0	01.07.20	A.V22	Job No	Sheet
			1SJ7008000	123415	20

ENSUITE



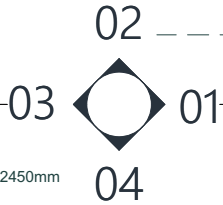
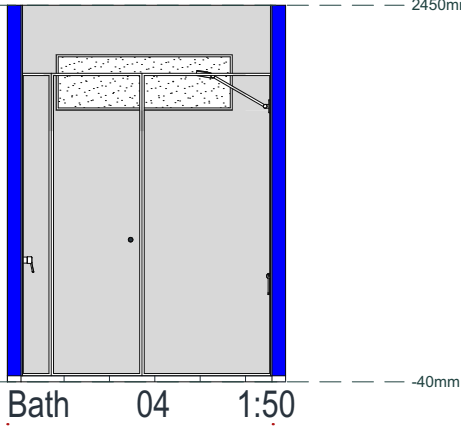
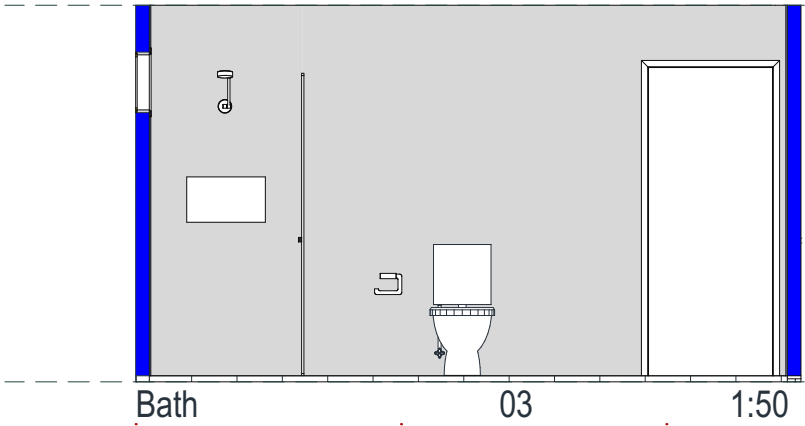
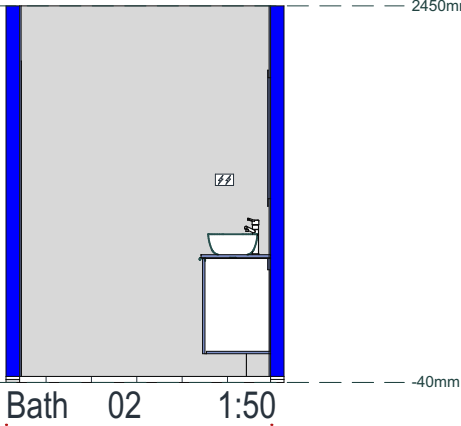
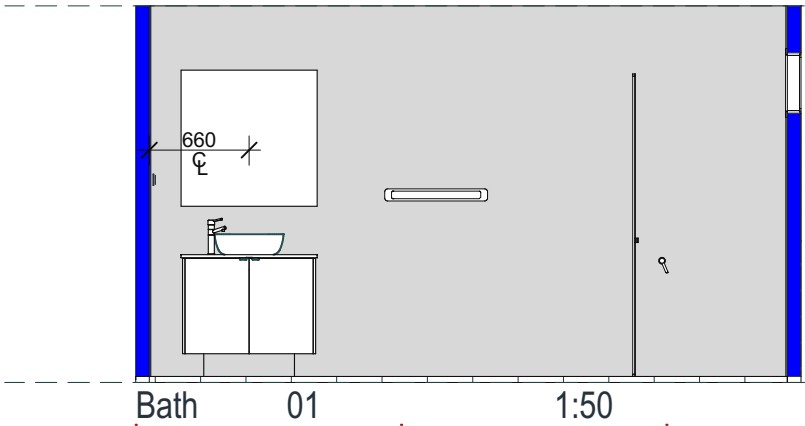
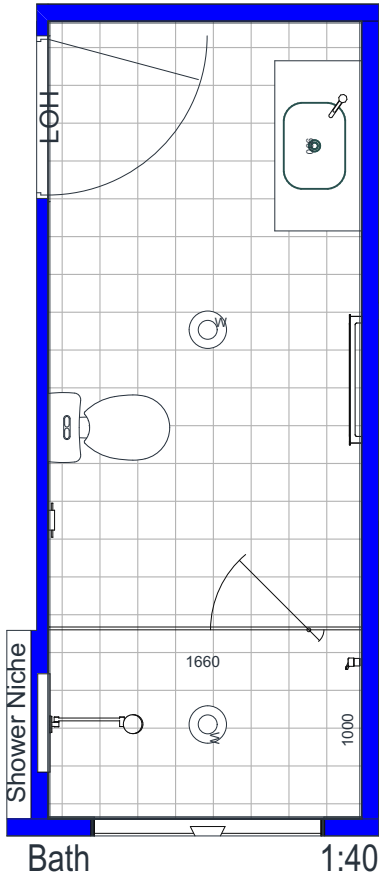
LAUNDRY



REV: A  
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	1950
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

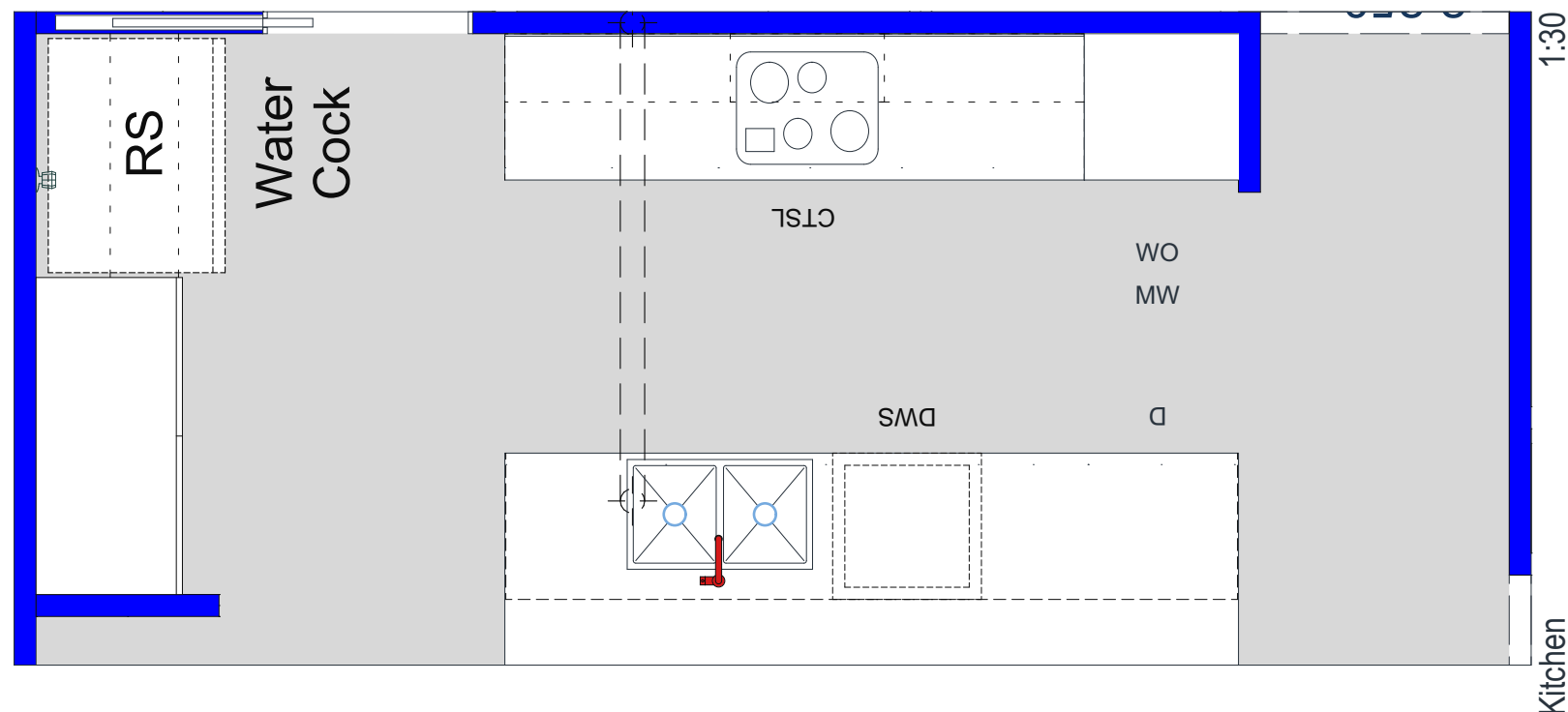
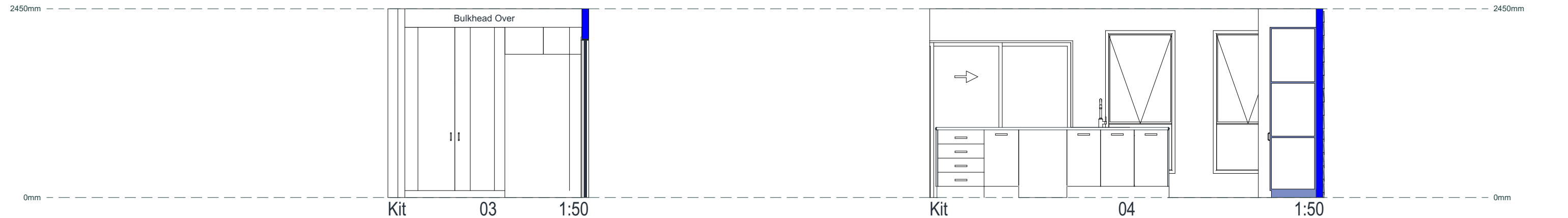
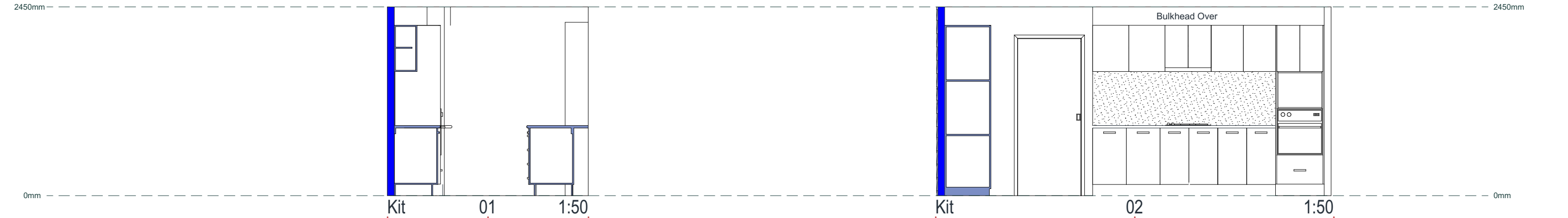
**Note:**  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.



REV: A  
MASTER

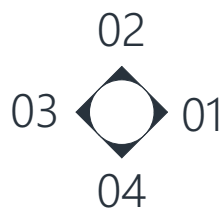
Wet Area Height Table	
Item	Height (mm)
Shower Screen	1950
Toilet Roll Holder	700
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Laundry Taps (Tub)	1050
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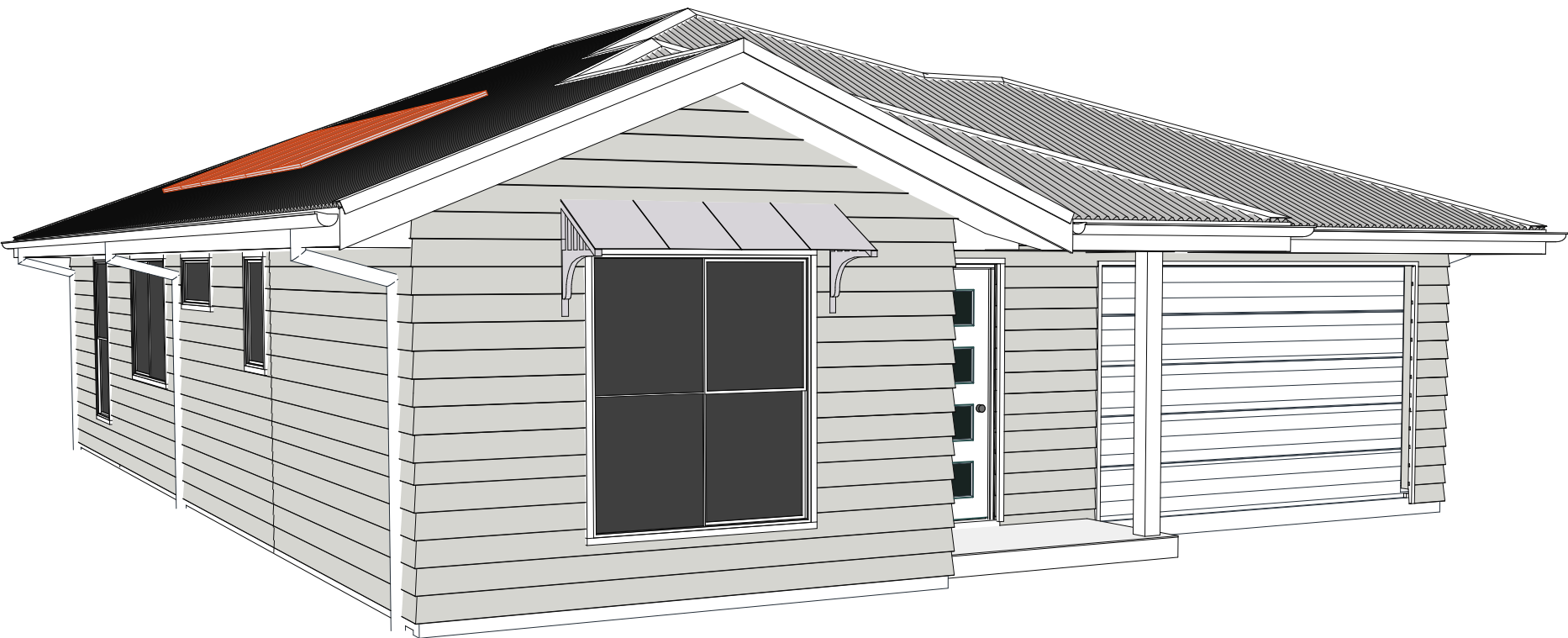
**Note:**  
Refer To Job Specific Details & Colour Application Sheets For Tile Layout/Application.



**Note:**  
Refer to specification level detail for  
Layout/heights.

REV: F0A  
MASTER





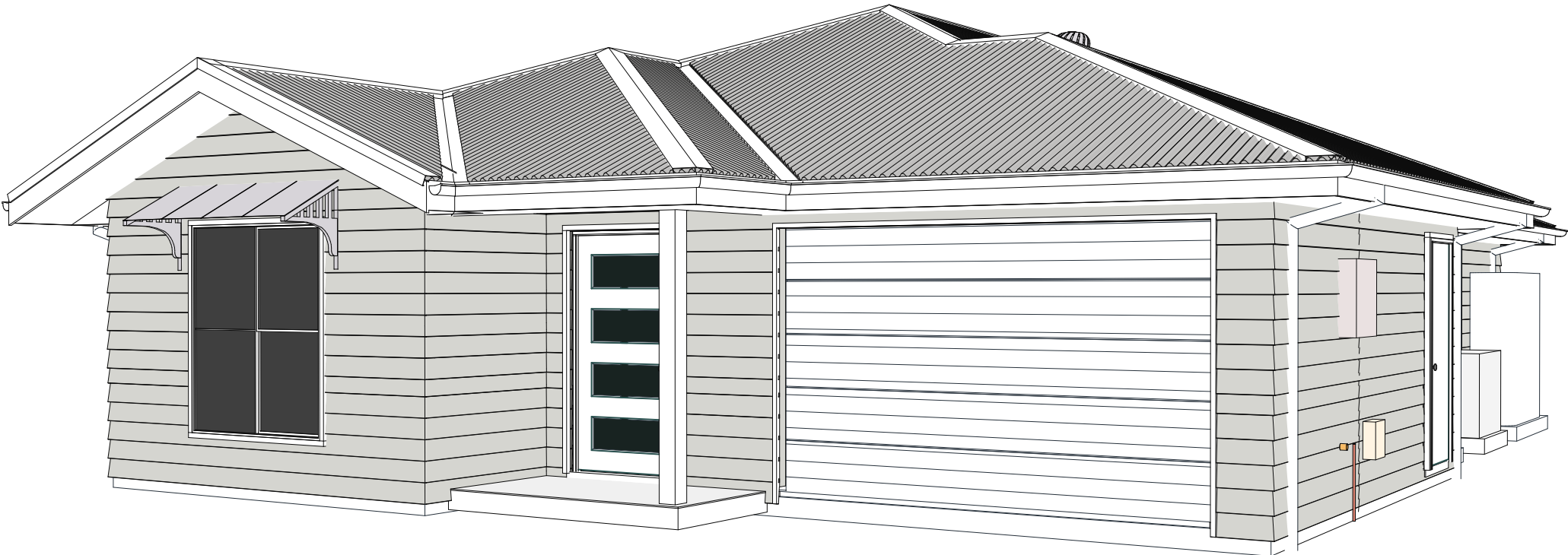
Finishes Legend

External Scheme -

Colorbond Roof :

Cladding:

REV: A  
MASTER



WARNING  
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR





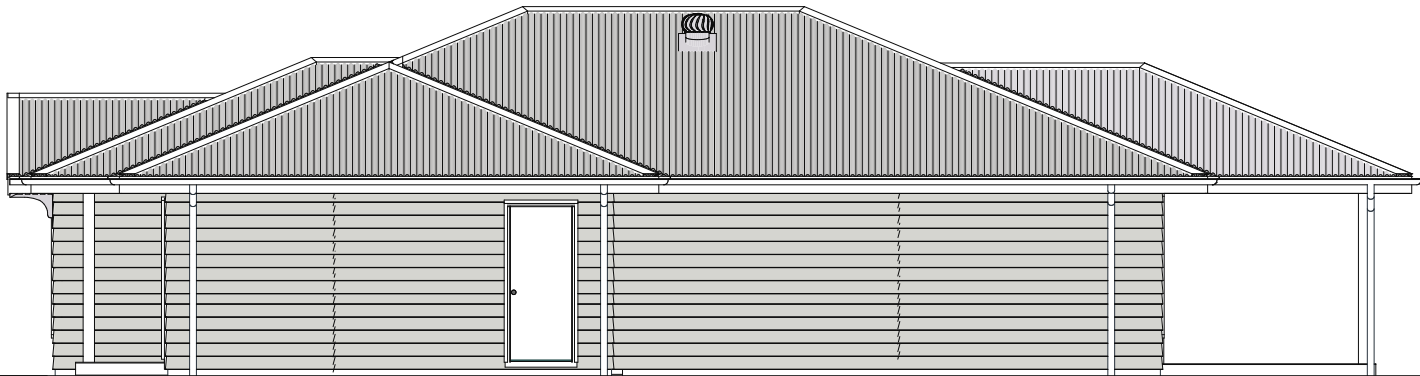
Finishes Legend

External Scheme -

Colorbond Roof :

Cladding:

REV: A  
MASTER



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MASTER



Allam Lifestyle Communities  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
ACN 003 798 883 BLN 28701.C  
Ph 02 47322422 Fx 02 47211811  
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**SPRUCE - 7LG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

SITE INSTRUCTIONS
GENERAL:
HOUSE:

## Colour Perspectives

F	01.09.20	Revision/Date/Version  A.V22
0	01.07.20	

Serial
1SJ7008000

	Last Amended <b>JHA</b>
	Job No <b>123415</b>

Scale	REFER TO DETAIL
Sheet	26





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**SPRUCE - 7LG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ## Street Name  
Kendall (MONTEREY) NSW

## SITE INSTRUCTIONS

GENERAL:

HOUSE:

## Landscape

F	01.09.20
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0	01.07.20
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Revision/Date/Version

A.V22

Serial

1SJ7008000

Fast Amended	
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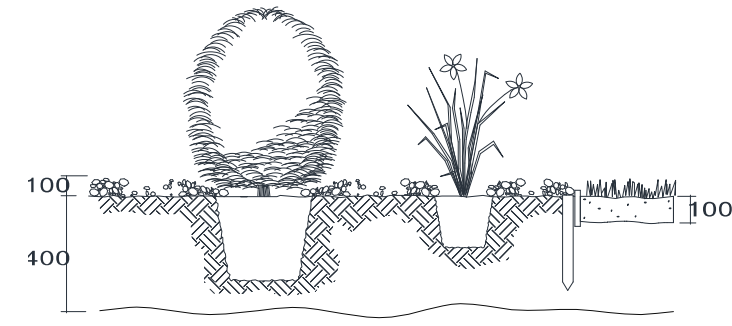
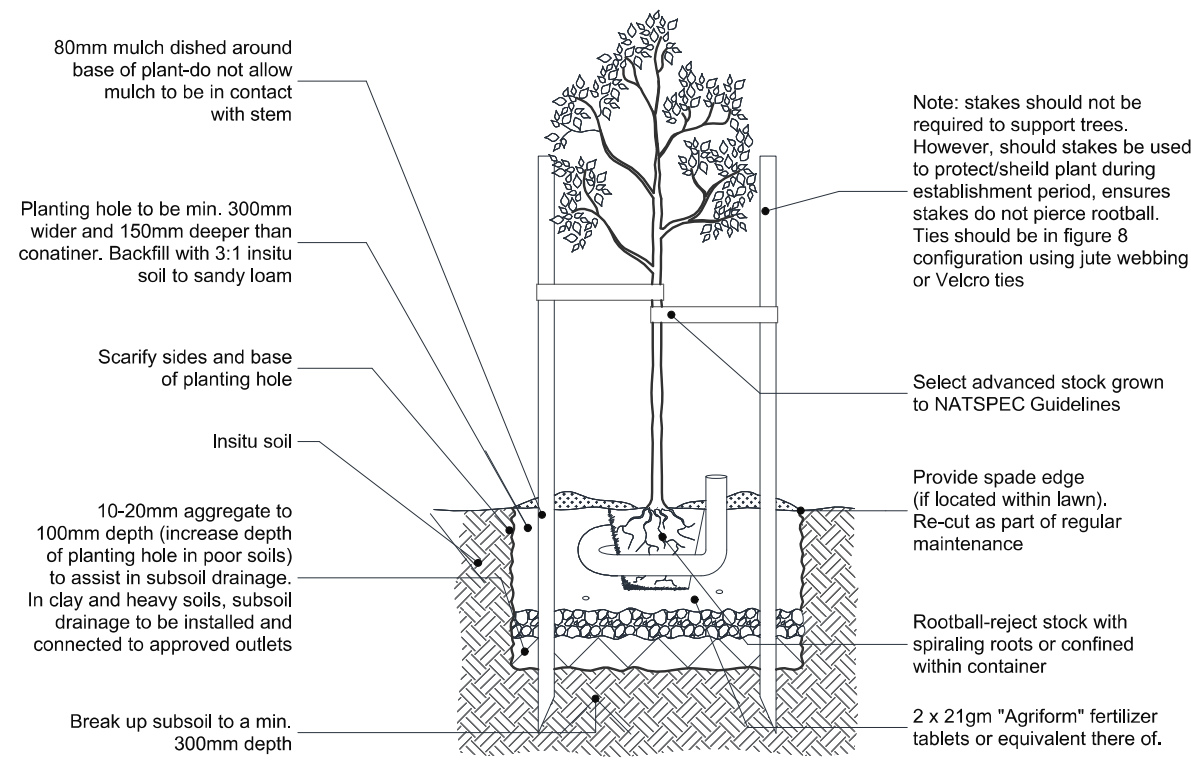
JHA	1
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Job No	
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123415

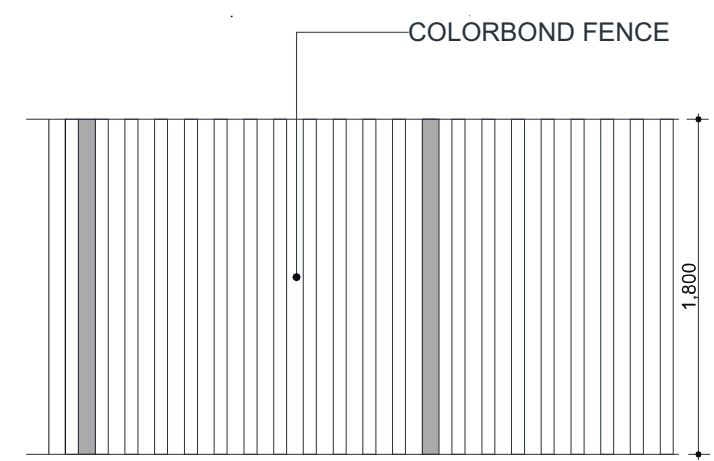
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**REV: A  
MASTER**



1. Excavate beds to 400mm
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

## PLANTED BEDS



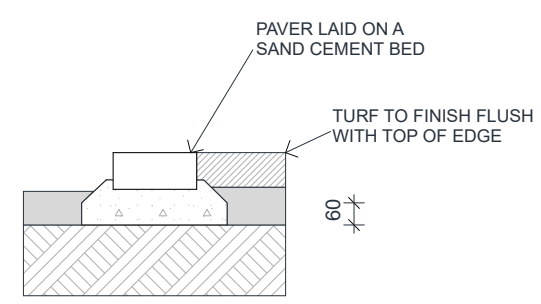
NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

## FENCE - TYPE

## TREE PLANTING FOR ADVANCED STOCK

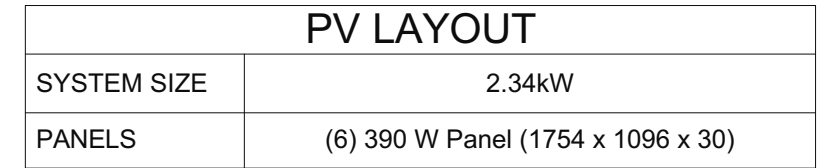
## LANDSCAPE SPECIFICATIONS

- TURF AREA:**
- Turf Underlay: 100mm thick layer of screened top soil
  - Turf: Kikuyu turf
- GARDEN AREA:**
- Soil: 300mm thick layer of premium garden mix
  - Mulch: 75mm thick layer of 10mm pine bark mulch
  - Plants per site average:
    - 2 x 25L pot size trees
    - 20 x 300mm pot size plants
    - 20 x 200mm pot size plants
    - 15 x 140mm pot size plants
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;.
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
  - 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant
- Ties shall be 50mm wide hessian webbing.
- BRICK EDGE:**
- 50mm thick charcoal Havenbrick on sand and cement mix
- PEBBLE AREA:**
- Pebble underlay : 100mm – 200mm thick layer of consolidated road base
  - Pebble : 75mm thick layer of 20mm Nepean river pebble



## GARDEN EDGE DETAIL

REV: A  
MASTER



REV: A  
MASTER